

RS-6

District Schedule

1 INTENT AND OVERVIEW

1.1 Intent

The intent of this schedule is to maintain the residential character of the area in the form of duplexes, single detached houses, secondary suites and laneway houses. Duplexes on sites larger than 511 m² must include at least 1 secondary suite. Retention of character houses is encouraged by permitting infill and multiple conversion dwellings where a character house is retained. The schedule encourages a high standard of building design, materials, and landscape development, while allowing design diversity in new development. Neighbourhood amenity is enhanced through the maintenance of healthy trees and planting which reflects the established streetscape.

Without limitation, applicable Council policies and guidelines for consideration include the [RS-6 Design Guidelines](#) and [Guidelines for Additions, Infill and Multiple Conversion Dwelling in Association with the Retention of a Character House in an RS Zone](#).

1.2 Overview

The table below provides an overview of the outright and conditional approval uses in the RS-6 district, categorized by the minimum site area required, where applicable. Applicable density, form and placement regulations in section 3 of this schedule are cross-referenced in the third column.

| Minimum Site Area | Use | Density, Form and Placement Regulations |
|--------------------|---|---|
| 334 m ² | Duplex or Duplex with Secondary Suite | 3.1 |
| | Single Detached House or Single Detached House with Secondary Suite | 3.1 |
| -- | Other uses in section 2.1 of this schedule | 3.1 |

2 USE REGULATIONS

2.1 Outright and Conditional Approval Uses

All outright and conditional approval uses are subject to all other provisions of this by-law, including [Section 2](#), [Section 10](#) and [Section 11](#), and compliance with the regulations of this schedule including section [2.2](#).

The uses identified in the table below as outright approval uses are permitted in this district and will be issued a permit.

The uses identified in the table below as conditional approval uses may be approved in this district by the Director of Planning, with or without conditions, if the Director of Planning considers:

- (a) the intent of this schedule and all applicable Council policies and guidelines; and
- (b) the submission of any advisory group, property owner or tenant.

Uses are listed under their general land use category. Applicable use-specific regulations in section [2.2](#) of this schedule are cross-referenced in the third column. Cross-references to applicable use-specific regulations are provided for information purposes only and do not form part of this by-law.

| Use | Approval | Use-Specific Regulations |
|--|-------------|--------------------------|
| Agricultural Uses | | |
| Urban Farm – Class A | Conditional | |
| Cultural and Recreational Uses | | |
| Community Centre or Neighbourhood House | Conditional | |
| Golf Course or Driving Range | Conditional | |
| Library, in combination with Community Centre | Conditional | |
| Marina | Conditional | |
| Park or Playground | Conditional | |
| Stadium or Arena | Conditional | |
| Zoo or Botanical Garden | Conditional | |
| Dwelling Uses | | |
| Duplex | Outright | |
| Duplex with Secondary Suite | Conditional | 2.2.1 |
| Infill, in combination with the retention of a character house existing on the site as of January 16, 2018 | Conditional | |
| Infill Single Detached House | Conditional | 2.2.2 |
| Laneway House | Conditional | 2.2.3 |
| Mixed-Use Residential Building | Conditional | 2.2.4 |

| Use | Approval | Use-Specific Regulations |
|--|-------------|--------------------------|
| Multiple Conversion Dwelling, resulting from the conversion of a character house existing on the site as of January 16, 2018 | Conditional | 2.2.5 |
| Principal Dwelling Unit with Lock-Off Unit | Conditional | 2.2.6 |
| Seniors Supportive or Assisted Housing | Conditional | |
| Single Detached House | Outright | |
| Single Detached House with Secondary Suite | Conditional | |
| Institutional Uses | | |
| Ambulance Station | Conditional | |
| Child Day Care Facility | Conditional | |
| Church | Conditional | |
| Community Care Facility – Class A | Outright | 2.2.7 |
| Community Care Facility – Class B | Conditional | |
| Group Residence | Conditional | |
| Hospital | Conditional | |
| Public Authority Use, essential in this district | Conditional | |
| School – Elementary or Secondary | Conditional | |
| Office Uses | | |
| Temporary Sales Office | Conditional | |
| Parking Uses | | |
| Parking Area, ancillary to a principal use on an adjacent site | Conditional | |
| Retail Uses | | |
| Farmers' Market | Conditional | 2.2.8 |
| Neighbourhood Grocery Store | Conditional | |
| Public Bike Share | Conditional | |
| Service Uses | | |
| Bed and Breakfast Accommodation | Conditional | |
| Short Term Rental Accommodation | Conditional | |
| Utility and Communication Uses | | |
| Public Utility | Conditional | |
| uncategorized | | |
| Accessory Buildings, customarily ancillary to any use listed in this section 2.1 | Outright | 2.2.9 |
| Accessory Buildings, customarily ancillary to any use listed in this section 2.1 and not permitted as an outright approval use | Conditional | |

| Use | Approval | Use-Specific Regulations |
|--|-------------|--------------------------|
| Accessory Uses, customarily ancillary to any outright approval use listed in this section 2.1 | Outright | 2.2.10 |
| Accessory Uses, customarily ancillary to any conditional approval use listed in this section 2.1 | Conditional | |
| Deposition or extraction of material, which alters the configuration of the land | Conditional | |

2.2 Use-Specific Regulations

- 2.2.1 Duplex with secondary suite must have no more than 1 secondary suite for each dwelling unit.
- 2.2.2 Infill single detached house, other than in combination with the retention of a character house existing on the site as of January 16, 2018, may be permitted if:
- (a) it is for a caretaker;
 - (b) it complies with the following:
 - (i) section [2.2.9\(a\)](#) below for any portion of the building located within 7.9 m of the ultimate rear property line, and
 - (ii) sections [2.2.9\(b\)](#), [2.2.9\(d\)](#), [2.2.9\(e\)](#) and [2.2.9\(f\)](#) below; and
 - (c) the floor area does not exceed 75 m² and is also counted in the accessory building area.
- 2.2.3 Laneway house is regulated by [Section 11](#) of this by-law and sections [3](#) and [4](#) of this schedule do not apply.
- 2.2.4 The only non-dwelling use permitted in a mixed-use residential building is neighbourhood grocery store.
- 2.2.5 Multiple conversion dwelling resulting from the conversion of a character house existing on the site as of January 16, 2018, may be permitted if it contains no housekeeping or sleeping units.
- 2.2.6 Principal dwelling unit with lock-off unit may be permitted only in:
- (a) a duplex and there may be no more than 1 lock-off unit for each dwelling unit; and
 - (b) a duplex with secondary suite if there is only 1 secondary suite and only 1 lock-off unit and the lock-off unit is in the dwelling unit without a secondary suite.
- 2.2.7 Community care facility – class A is subject to the regulations, variations and relaxations that apply to single detached house.

2.2.8 Farmers' market may be permitted if the Director of Planning considers the appropriateness of the use with respect to compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility and pedestrian amenity.

2.2.9 Accessory buildings customarily ancillary to any use listed in section 2.1 of this schedule are permitted as an outright approval use if:

(a) no accessory building exceeds 3.7 m in height, measured to:

- (i) the highest point of a flat roof,
- (ii) the deck line of a mansard roof, or
- (iii) the mean height between the eaves and the ridge of a gable, hip or gambrel roof,

provided that no portion of an accessory building exceeds 4.6 m in building height;

(b) all accessory buildings are located:

- (i) within 7.9 m of the ultimate rear property line or within the permitted building depth as prescribed in this schedule, and
- (ii) at least 3.1 m from the ultimate centre line of any rear or flanking lane, and
- (iii) at least 1.5 m from a flanking street;

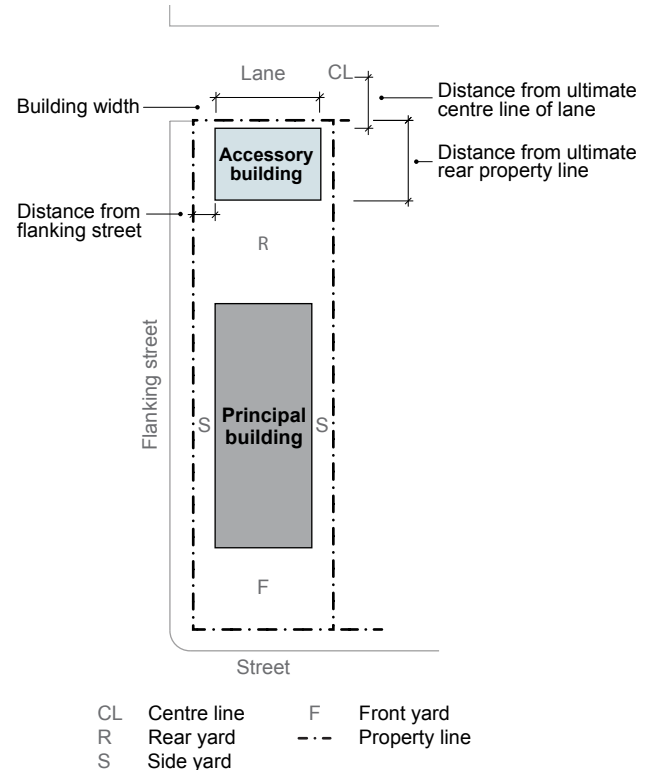
(c) for all uses except for duplex and duplex with secondary suite, the total floor area of all accessory buildings, measured to the extreme outer limits of the building, does not exceed 30% of the minimum rear yard prescribed in this schedule, or 48 m², whichever is greater, except that the total allowable accessory building floor area will be reduced by the floor area of a laneway house;

(d) for duplex and duplex with secondary suite, the total floor area of all accessory buildings, measured to the extreme outer limits of the building, does not exceed 48 m²;

(e) the combined building width for all accessory buildings does not exceed 67% of the width of the site at the rear property line; and

(f) roof decks and decks are only located on an accessory building that is within the permitted building depth as prescribed in this schedule.

Diagram: Building placement for accessory building



2.2.10 Accessory parking spaces customarily ancillary to any outright approval use listed in section 2.1 of this schedule must comply with the provisions of section 2.2.9(b) above.

3 DENSITY, FORM AND PLACEMENT REGULATIONS

This section contains density, form and placement regulations organized by use.

3.1 All Uses

Duplex, duplex with secondary suite, single detached house, single detached house with secondary suite, uses involving character retention, and all other uses in this district are subject to the following regulations.

3.1.1 Density and Floor Area

3.1.1.1 The maximum floor space ratio for all uses except duplex and duplex with secondary suite is 0.60, except that:

- (a) for buildings existing prior to April 12, 1988, the area of all floors at or above finished grade and of the floors of any storey, basement or cellar located below a storey that has a floor surface located 2.0 m or more above finished grade, all of which floors are located within the building depth prescribed in sections [3.1.2.10\(b\)](#) and [3.1.2.10\(c\)](#) of this schedule, must not exceed a floor space ratio of 0.20 plus 130 m²;
- (b) for buildings existing prior to March 26, 1996 but not before April 12, 1988, the area of all floors at or above finished grade and of the floors of any storey, basement or cellar located below a storey which has a floor surface located 1.8 m or more above finished grade, all of which floors are located within the building depth prescribed in sections [3.1.2.10\(b\)](#) and [3.1.2.10\(c\)](#) of this schedule, must not exceed a floor space ratio of 0.20 plus 130 m²;
- (c) in all cases other than those described in sections [3.1.1.1\(a\)](#) and [3.1.1.1\(b\)](#) above, the area of all floors at or above finished grade and of the floors of any storey, basement, or cellar located below a storey that has a floor surface located 1.8 m or more above finished grade, all of which floors are located within the building depth prescribed in sections [3.1.2.10\(b\)](#) and [3.1.2.10\(c\)](#) of this schedule, must not exceed a floor space ratio of 0.16 plus 130 m²;
- (d) the Director of Planning may increase the permitted floor space ratio to 0.64 if:
 - (i) the first and second storeys of the building do not exceed a floor space ratio of 0.20 plus 130 m²,
 - (ii) where a partial storey is provided above the second storey, the area of all floors on the first, second and partial storey above the second storey do not exceed a floor space ratio of 0.24 plus 130 m²,
 - (iii) the total floor space ratio does not exceed 0.60 plus the floor space ratio of the floor area counted above the second storey up to a maximum of 0.64, and
 - (iv) the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines;
- (e) the floor space ratio is increased to 0.70 if:

- (i) the area of all floors at or above finished grade does not exceed the lesser of a floor space ratio of 0.45, and the floor space ratio determined under sections [3.1.1.1\(a\)](#), [3.1.1.1\(b\)](#), [3.1.1.1\(c\)](#) and [3.1.1.1\(d\)](#) above,
 - (ii) the area of any floor, including the basement or cellar, does not exceed a floor space ratio of 0.25, and
 - (iii) no portion of the basement or cellar projects horizontally beyond the perimeter of the first storey, including entries, porches and verandahs;
- (f) for buildings existing prior to July 7, 2009, the floor space ratio for the area of all floors at, above or below finished grade, is increased to 0.75 to permit the addition of a basement or cellar, if:
- (i) the area of all floors at or above finished grade does not exceed the lesser of a floor space ratio of 0.50 and the existing floor space ratio,
 - (ii) the area of any floor, including the basement or cellar, does not exceed a floor space ratio of 0.25, and
 - (iii) no portion of the basement or cellar projects horizontally beyond the perimeter of the first storey, including entries, porches and verandahs; and
- (g) the Director of Planning may increase the permitted floor space ratio to a maximum of:
- (i) 0.75 to facilitate an addition to a character house, or
 - (ii) 0.85 for infill in combination with the retention of a character house,
- if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

3.1.1.2 The Director of Planning may vary section [3.1.1.1\(d\)\(ii\)](#) above for:

- (a) new buildings located in a flood plain to allow a floor space ratio on the first and second storey not exceeding 0.24 plus 130 m² where the development of a partial storey above an existing second storey is not possible due to designated flood construction levels; and
- (b) buildings existing prior to March 26, 1996 to allow a floor space ratio on the first and second storey not exceeding 0.24 plus 130 m² where the development of a partial storey above an existing second storey is not possible due to the structural incapability of the existing building or because of height, access or view blockage concerns.

3.1.1.3 The maximum floor space ratio for duplex and duplex with secondary suite is 0.70, except that the area of all floors at or above finished grade and of the floors of any storey, basement or cellar located below a storey which has a floor surface located 1.8 m or more above finished grade must not exceed 371 m².

3.1.2 Building Form and Placement

| Regulations | RS-6 |
|--|---|
| 3.1.2.1 Minimum site area for: | |
| (a) duplex or duplex with secondary suite | 334 m ² |
| (b) single detached house or single detached house with secondary suite | 334 m ² |
| (c) a dwelling unit for a caretaker | 3000 m ² |
| 3.1.2.2 Maximum site area for duplex | 511 m ² |
| 3.1.2.3 Minimum site width for: | |
| (a) duplex or duplex with secondary suite | 7.3 m |
| (b) single detached house or single detached house with secondary suite | |
| 3.1.2.4 Maximum building height | 10.7 m and 3 storeys |
| 3.1.2.5 Minimum front yard depth | 20% of the site depth |
| 3.1.2.6 Minimum side yard width for a site: | |
| (a) not exceeding 21.3 m in site width | 12% of the site width |
| (b) exceeding 21.3 m in site width | % of the site width = [(site width in metres – 21.3 m) x 0.66] + 12 |
| 3.1.2.7 Minimum rear yard depth | 40% of the site depth |
| 3.1.2.8 Maximum site coverage for all buildings for: | |
| (a) duplex or duplex with secondary suite | 45% of the site area |
| (b) all other uses | 40% of the site area |
| 3.1.2.9 Maximum area of impermeable materials | 60% of the site area |
| 3.1.2.10 Maximum building depth for: | |
| (a) duplex or duplex with secondary suite | 45% of the site depth |
| (b) all other uses, for the centre 60% of the maximum permitted building width | 40% of the site depth |

| Regulations | RS-6 |
|---|-----------------------|
| (c) all other uses, for 20% of the maximum allowable building width as measured from both side yard setback lines | 35% of the site depth |

Site Area and Site Width

- 3.1.2.11 The Director of Planning may reduce the minimum site area in section 3.1.2.1(b) above if the existing lot is on record in the Land Title Office.
- 3.1.2.12 The design of any new dwelling will first require the approval of the Director of Planning if:
 - (a) the site width is less than 9.8 m; or
 - (b) the site area is less than 334 m².

Building Height

- 3.1.2.13 Despite the maximum building height in section 3.1.2.4 above, the third storey must be a partial storey not exceeding 50% of the storey immediately below.
- 3.1.2.14 Despite the maximum building height in section 3.1.2.4 above, the building height must not exceed an envelope located in compliance with the side yard regulations and formed by planes vertically extended 9.2 m in height above the horizontal datum plane and then extending inward and upward at an angle of 135 degrees from the vertical.

Front Yard

- 3.1.2.15 Despite the minimum front yard depth in section 3.1.2.5 above on a site where the average front yard depth of the 2 adjacent sites on each side of the site is more than the 20% depth by at least 1.5 m or is less than the 20% depth, the minimum front yard depth will be that average, subject to the following:

Diagram: Building placement and building depth for principal building

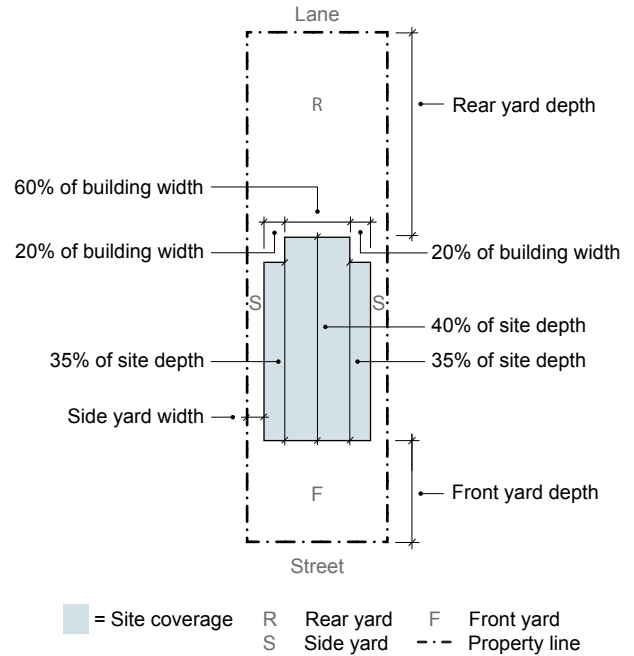
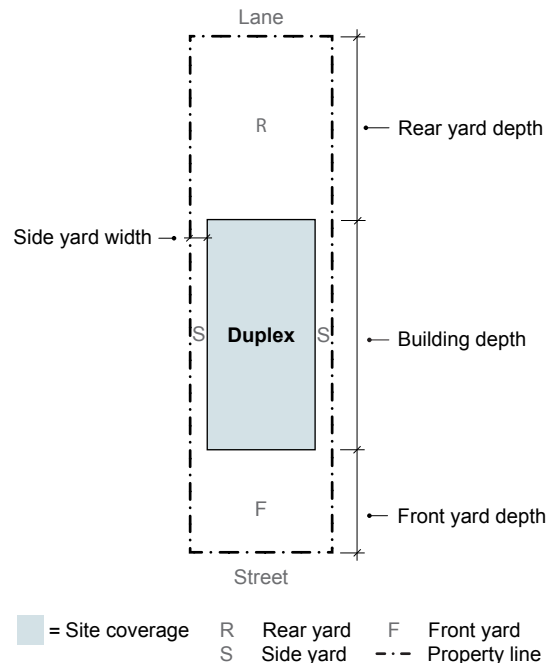
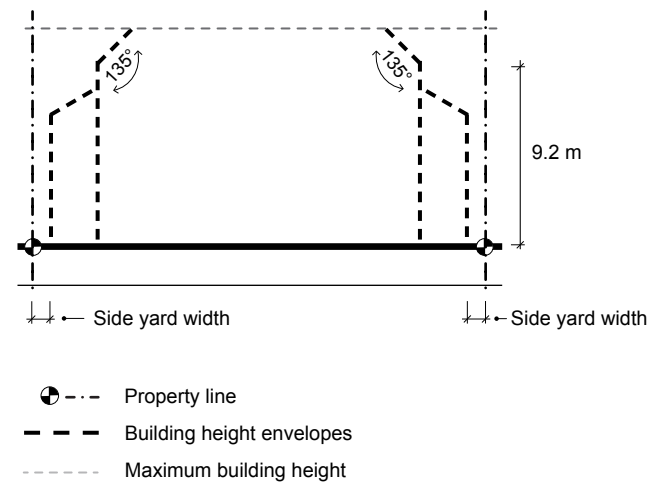


Diagram: Building placement for duplex or duplex with secondary suite



- (a) where an adjacent site is vacant, it is deemed to have a front yard depth of 20% of the site depth;
- (b) if 1 or more of the adjacent sites front on a street other than that of the development site or the adjacent sites are separated by a street or lane, then such adjacent sites will not be used in computing the average; and
- (c) where the site is adjacent to a flanking street or lane, the average depth will be computed using the remainder of the adjacent sites.

Diagram: Maximum building height envelope



- 3.1.2.16 The Director of Planning may vary the required front yard depth on a double fronting site or a site where a building line has been established pursuant to section 8.1.1 of this by-law.
- 3.1.2.17 If the provisions of sections 3.1.2.7 and 3.1.2.15 above result in a distance between the front yard and the rear yard that is less than 40% of the site depth, and if the principal building is sited so that it abuts the required rear yard, the required front yard depth will be reduced so that the distance between the front yard and the rear yard is equal to 40% of the site depth.

Side Yard

- 3.1.2.18 Despite the minimum side yard width in section 3.1.2.6(b) above, a side yard need not exceed 20% in width.

Rear Yard

- 3.1.2.19 Despite the minimum rear yard depth in section 3.1.2.7 above the required rear yard depth will be reduced to a depth of not less than the largest of the rear yard depths of the sites on either side, subject to the following:
- (a) where an abutting site is vacant, it is deemed to have a rear yard depth of 40% of its site depth;
 - (b) where an adjacent site abuts the site by way of its rear property line or is separated by a street or lane, it will not be used in determining the reduction of the required rear yard depth;
 - (c) where the site has an exterior side yard, the required rear yard depth will be reduced to that of the abutting site; and
 - (d) any portion of the principal building to be located within that part of the minimum rear yard depth decreased as provided for in this section 3.1.2.19 must comply with the provisions of section 2.2.9(a) of this schedule.

3.1.2.20 For buildings existing prior to April 12, 1988, the required rear yard depth will be reduced by an amount not exceeding 3.1 m, provided that the resulting depth of the principal building does not exceed 40% of the site depth. The floor of a roof deck or deck located within that part of the rear yard decreased as provided for in this section [3.1.2.20](#) must not be any higher than the floor of the first storey of the principal building.

Area of Impermeable Materials

3.1.2.21 Where developed secondary vehicular access to a site is not available, the Director of Planning may exclude from the area of impermeable materials an amount not exceeding:

- (a) for the first parking space, the product of the distance, in metres as measured along the driveway centre line, from the point where the driveway crosses the property boundary to the point where it meets the nearest side of the approvable parking space multiplied by 3.1 m; and
- (b) for each additional parking space, 67 m² to accommodate vehicular access and manoeuvring.

3.1.2.22 The Director of Planning may increase the maximum area of impermeable materials for buildings existing prior to March 26, 1996 to a maximum of 70% of the total site area if:

- (a) the percentage of the site area covered by existing impermeable materials is not increased by the proposed development; and
- (b) the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

Building Depth

3.1.2.23 Despite the maximum building depth in section [3.1.2.10\(c\)](#) above, for corner sites, the maximum building depth for the 20% portion of the maximum building width facing a flanking street or lane is 40%.

3.1.2.24 Despite the maximum building depth in section [3.1.2.10\(c\)](#) above, where a 20% portion of the maximum building width is adjacent to a site fronting the same street, and the projected rear of the principal building on that site, excluding any decks at or below the first storey floor level, extends further back than the 35% building depth of the subject site, the building depth for this portion of the subject site may be increased to match the projected building depth of the principal building on the adjacent site to a maximum of 40%.

3.1.2.25 Despite the maximum building depth in section [3.1.2.10\(c\)](#) above, open and covered decks, at or below the first storey floor level, and basements and cellars may project to a maximum 40% of the site depth.

4 GENERAL REGULATIONS

All uses in this district are subject to the following regulations.

4.1 Computation of Floor Area

4.1.1 Computation of floor area must include:

- (a) all floors, including earthen floor, measured to the extreme outer limits of the building including accessory buildings;
- (b) stairways, fire escapes, elevator shafts, and other features that the Director of Planning considers similar to the foregoing, measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located;
- (c) where the distance from a floor to the floor above, or where there is no floor above, to the top of the roof joists, exceeds 3.7 m, an amount equal to the area of the floor below the excess height;
- (d) in the computation of the above-grade floor space ratio, areas of basement or cellar below those decks, skylights or roofs that are greater than 1.8 m above the horizontal datum plane as described in section 4.3.2 and section 4.3.3; and
- (e) the floor area of bay windows, regardless of seat height, location in building or relationship to yard setbacks, which exceeds the product of the total floor area permitted above the basement multiplied by 0.01.

4.1.2 Computation of floor area must exclude:

- (a) balconies and decks, and any other appurtenances that the Director of Planning considers similar to the foregoing, provided that the total area of these exclusions does not exceed 8% of the permitted floor area;
- (b) patios and roof decks, if the Director of Planning considers the impact on privacy and overlook;
- (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage in multiple conversion dwellings containing 3 or more dwelling units, or uses that the Director of Planning considers similar to the foregoing, those floors or portions thereof not exceeding 7.3 m in length, which:
 - (i) are located in an accessory building located within 7.9 m of the ultimate rear property line, or
 - (ii) where a site has no developed secondary access, are located in a principal building, or in an accessory building located within the building depth prescribed in this schedule, up to a maximum of 42 m²;
- (d) child day care facilities to a maximum floor area of 10% of the permitted floor area, if the Director of Planning is satisfied that there is a need for a day care facility in the immediate neighbourhood;
- (e) areas of undeveloped floors that are located above the highest storey or partial storey, and to which there is no permanent means of access other than a hatch;

- (f) areas of floors existing, proposed or as may be extended over open-to-below space on a storey or a partial storey with a height of less than 1.2 m as measured to the underside of roof rafters or to the underside of the top member of a truss;
- (g) floors located below the first storey as defined in section [4.1.2\(a\)](#) below with a height of less than 1.2 m measured to the underside of floor joists;
- (h) entries, porches and verandahs, and covered porches above the first storey, if:
 - (i) for all uses except for duplex and duplex with secondary suite, they face a street or a rear property line and entries, porches and verandahs are located at the basement or first storey,
 - (ii) for duplex and duplex with secondary suite, they face a street or rear property line,
 - (iii) the side facing the street or rear property line is open or protected by guards that do not exceed the required minimum height,
 - (iv) the total area of these exclusions, when combined with the balcony and deck exclusions under section [4.1.2\(a\)](#) above, does not exceed 13% of the permitted floor area,
 - (v) for duplex and duplex with secondary suite, the depth of the total area being excluded for covered porches above the first storey does not exceed 1.83 m,
 - (vi) for duplex and duplex with secondary suite, the ceiling height, excluding roof structure, of the total area being excluded does not exceed 3.1 m measured from the entry, porch or verandah floor, and
 - (vii) for all uses except for duplex and duplex with secondary suite, the maximum height must comply with section [4.6.2.14](#) of this schedule;
- (i) unconditioned floor areas with a ceiling height or height to the underside of joists of less than 2.0 m, located below the floors of entries, porches and verandahs complying with section [4.1.2\(h\)](#) above, to which there is no access from the interior of the building;
- (j) the floor area of a laneway house; and
- (k) areas of floors existing, proposed or as may be extended over open-to-below space located directly below sloping roof rafters or a sloping ceiling where the ceiling is directly attached to the underside of sloping roof rafters, and where the roof joists have a minimum 6:12 pitch and the related ceiling maintains the same pitch as the roof joists, if:
 - (i) the distance from the floor to any part of the roof rafters or ceiling is no higher than 2.3 m and no lower than 1.2 m, both measured vertically, and
 - (ii) the excluded floor area does not exceed 10% of the permitted floor area above the basement or cellar level,

and despite the definition of “partial storey” in [Section 2](#) of this by-law, for the purposes of this schedule the maximum permitted floor area contained in a partial storey must not include floor area excluded in this section [4.1.2\(k\)](#).

- 4.1.3 For the purposes of this schedule:
- (a) the first storey must be the storey with an average floor elevation at or below:
 - (i) 2.0 m above existing grade for houses existing prior to April 12, 1988, and
 - (ii) 1.8 m above existing grade for all other houses; and
 - (b) the second storey must be the next storey above the first storey, but no portion of the second storey floor level must exceed 3.7 m above the first storey floor level.
- 4.1.4 In the case of a corner site, where the rear property line of a site adjoins the side yard of a site in an R district, without the intervention of a lane, the Director of Planning may vary the provisions of section 4.1.2 above to permit the exclusion of floor space used for off-street parking in the principal building up to a maximum of 42 m².

4.2 Building Height: Measurement

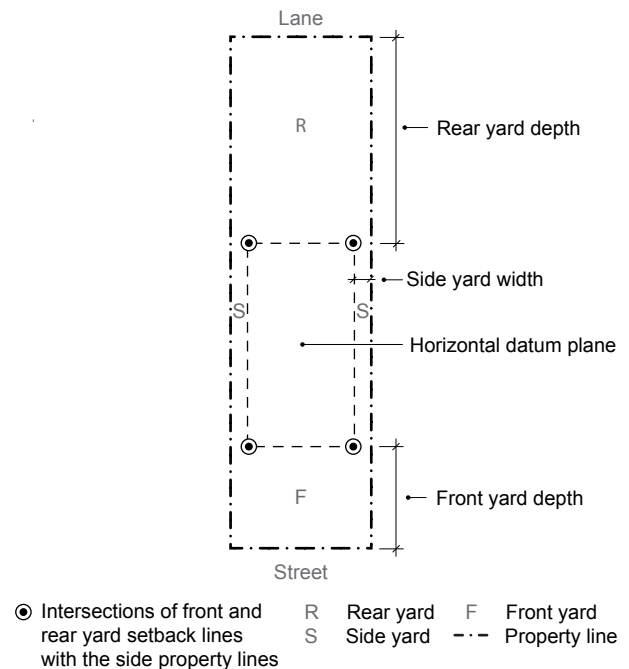
4.2.1 The height of any building, including any accessory building, located within the permitted building depth prescribed in this schedule must be measured from the horizontal datum plane.

4.2.2 For the purposes of this schedule, the horizontal datum plane is a single horizontal, flat surface, the elevation of which is the average of the existing site elevations taken at the intersections of the required front and rear yard setback lines with the side property lines.

4.2.3 Despite section 4.2.2 above, the elevation of the horizontal datum plane must not exceed an elevation of 1.5 m above the lowest of the elevations averaged to determine the elevation of this plane.

4.2.4 Despite sections 4.2.1, 4.2.2 and 4.2.3 above, the height of an accessory building not within the permitted building depth prescribed in this schedule must be measured from existing grade around the perimeter of the accessory building.

Diagram: Horizontal datum plane



4.3 Yards: Projections and Measurement

4.3.1 Despite the yard projection regulations in Section 10 of this by-law no decks are permitted to be directly above those portions of an entry, porch and verandah which project into a required front yard;

- 4.3.2 Entries, porches and verandahs complying with section [4.1.2\(h\)](#) of this schedule, may project up to 2.0 m into the required rear yard if:
- (a) such a projection is limited to 30% of the building width;
 - (b) no decks are directly above those portions of an entry, porch and verandah which project into a required rear yard; and
 - (c) such a projection does not extend more than 2.0 m beyond the permitted building depth.
- 4.3.3 Where a building line has been established pursuant to section [8.1.2](#) of this by-law, such building line will be deemed to be the southerly boundary of any required rear yard on lands described in “Plan A” of Part III of [Schedule E](#) to this by-law, despite any dimension contained herein.

4.4 Site Coverage and Impermeability: Measurement

- 4.4.1 Except where the principal use of the site is a parking area, the maximum site coverage for any portion of the site used as parking area is 30%.
- 4.4.2 The maximum area of impermeable materials includes site coverage for all buildings.

4.5 Building Depth: Measurement

- 4.5.1 Building depth means the distance measured from the required front yard, in a straight line perpendicular to the front yard to a point directly opposite at the furthest extent of the building, including decks, except that where an existing building encroaches into the required front yard, the distance must be measured from the front exterior wall rather than the required front yard.
- 4.5.2 Projections into yards permitted in [Section 10](#) of this by-law and in sections [4.3.1](#) and [4.3.2](#) of this schedule will not be included in the calculation of building depth.

4.6 External Design

4.6.1 External design regulations for all uses

All uses are subject to the external design regulations in this section [4.6.1](#).

- 4.6.1.1 The surface of the ground adjoining a building may be lowered only for the purpose of providing:
- (a) a window well for a basement or a cellar, if the lowered surface does not extend more than 1.0 m from the surface of a wall;
 - (b) a sunken entrance for a basement, if:
 - (i) the portion of the building abutting the lowered surface faces either the front street or the rear property line,

- (ii) the lowered surface does not extend more than 3.1 m into the required front or rear yard, measured from the street-facing wall and including stair runs or vertical change in grade between the basement and the existing grade, and
 - (iii) the sum of the widths of all lowered surfaces abutting the building is not greater than half the building width or 4.6 m, whichever is the lesser; or
- (c) a sunken entrance for a cellar in buildings existing prior to June 23, 2020, if:
- (i) it complies with section [4.6.1.1\(b\)](#) above, and
 - (ii) the depth of the lowered surface does not exceed 1.83 m below the average finished grade.

4.6.1.2 Exterior windows in a secondary suite or lock-off unit must have:

- (a) a minimum total glazing area of 10% of the total floor area of the room, in each of the kitchen, living room and dining room; and
- (b) a minimum total glazing area of 5% of the total floor area of the room, in all other rooms, except bathrooms and laundry rooms.

4.6.2 External design regulations for all uses, except duplex and duplex with secondary suite

All uses, except duplex and duplex with secondary suite, are subject to the external design regulations in this section [4.6.2](#).

4.6.2.1 For the purposes of this section [4.6.2](#):

- (a) “front entrance” means a door facing the front yard and located at or within 1.8 m of grade or connected to grade by stairs, a ramp or other means; and
- (b) “side entrance” means a door located on that part of a building facing a side yard and at or within 1.8 m of grade or connected to grade by stairs, a ramp or other means.

4.6.2.2 For single detached house, there must be no more than 1 separate and distinct front entrance.

4.6.2.3 For single detached house with secondary suite, there must be no more than 2 separate and distinct front entrances.

4.6.2.4 For single detached house and single detached house with secondary suite, a side entrance must face a street or lane, or be located at least 5.0 m from the side property line, and there must be no more than 1 side entrance facing each side yard, except that 2 side doors may be permitted to face a side yard that abuts a street or lane.

4.6.2.5 Despite sections [4.6.2.2](#), [4.6.2.3](#) and [4.6.2.4](#) above, the Director of Planning may, on the advice of the Chief Building Official, permit 1 additional entrance facing a front yard or a side yard if it provides access to a building existing prior to March 14, 1989.

- 4.6.2.6 For portions of a building more than 7.3 m above the horizontal datum plane as defined in sections [4.2.1](#) and [4.2.3](#) of this schedule:
- (a) dormer roofs must:
 - (i) be either gable, hip or shed in form,
 - (ii) have a slope not less than 4:12 and not more than 14:12, and
 - (iii) not exceed 9.1 m above the horizontal datum plane, except for dormers described under section [4.6.2.9\(c\)](#) below; and
 - (b) all roofs other than dormer roofs must:
 - (i) be either hip or gable or a combination of both,
 - (ii) have a slope not less than 6:12 and not more than 14:12, and
 - (iii) intersect at its lower portion with the exterior wall face of the building or the vertical projection thereof at a line no higher than the lesser of 7.3 m above the horizontal datum plane or 0.6 m above the floor level of a partial storey or attic above the second storey.
- 4.6.2.7 Portions of a building conforming to sections [10.18.1\(a\)](#), [10.18.1\(c\)](#) and [10.18.1\(d\)](#) of this by law will not be considered for the determination of building height under section [4.6.2.6](#) above.
- 4.6.2.8 Roof decks are permitted above the second storey if:
- (a) the total area of the roof deck does not exceed 0.03 multiplied by the site area;
 - (b) the base of the roof deck must not exceed 0.6 m above the floor level of a partial storey or attic above the second storey; and
 - (c) the roof deck must be entirely contained in the rear half of the permitted building depth and be set back a minimum of 0.6 m from the perimeter walls of the second storey.
- 4.6.2.9 Where a dormer or dormers are provided on a partial storey above the second storey:
- (a) the total width of the dormer or dormers:
 - (i) facing a rear yard must not exceed 40% of the total width of the elevation of the storey below,
 - (ii) facing an interior side yard must not exceed 25% of the total width of the elevation of the storey below, and
 - (iii) facing a street or flanking lane must not exceed:
 - (A) 25% of the width of the storey below where there is 1 dormer, or
 - (B) 30% of the width of the storey below where there are 2 or more dormers, each separated by at least 1.5 m;

- (b) all exterior dormer walls must be set back a minimum of 0.6 m from the exterior face of the wall of the storey below;
- (c) despite sections [4.6.2.9\(a\)](#) and [4.6.2.9\(b\)](#) above, where a site is less than 13.7 m in width, 1 dormer, which faces an interior side yard and which provides headroom over a stair and any intermediate and top landings which provide access from the second storey to the partial storey above:
 - (i) may have its face wall flush or continuous with the second storey exterior wall face below, and
 - (ii) need not be less than 4.6 m in width, and
 no other dormers are permitted facing this interior side yard; and
- (d) they must face only 1 side yard on lots less than 13.7 m in width, except where a lot is a corner lot, dormers may face both side yards.

4.6.2.10 Gable end walls must be designed so that:

- (a) a gable roof, any portion of which is greater than 7.3 m above the horizontal datum plane, must not have gable end walls with ridges more than 7.3 m above the horizontal datum plane on more than 2 building elevations; and
- (b) no more than 1 gable end wall on a building elevation may exceed 9.1 m in height above the horizontal datum plane.

4.6.2.11 A bay window projecting into a required yard, as permitted under section [10](#) of this by law, must not exceed 2.4 m at its widest dimension and the total width of all bay windows projecting into a required yard, measured at their widest dimensions, must not exceed 25% of the width of the storey on that elevation where they are located.

4.6.2.12 Where a basement or cellar horizontally projects beyond the first storey, the projecting area must:

- (a) face the rear property line or an interior side yard; or
- (b) face the street towards which the front entry faces and be under an approved deck, planter or patio at or below the first storey floor level; or
- (c) on a corner lot, face a street other than as described in section [4.6.2.12\(b\)](#) above, and not be closer to the property line fronting this street than the closest portion of the first storey; or
- (d) be below an entry, porch and verandah as described in sections [4.3.1](#) or [4.3.2](#) of this schedule, except in no case may a basement or cellar project into a required yard or exceed permitted building depth requirements.

4.6.2.13 Metal chimney flues or vents must be visually screened from view by a non-combustible enclosure except that this requirement will not apply to through-wall-direct-vented gas fireplaces.

4.6.2.14 The maximum height of entries, porches and verandahs will be governed by the following:

- (a) the height above the entry, porch or verandah floor to the ceiling must not exceed 3.1 m and the height above the entry, porch or verandah floor to the top of a flat roof covering the entry, porch or verandah must not exceed 4.0 m; or
- (b) the height above the entry, porch or verandah floor to the ridge or highest point of a gable, hip, or vaulted roof springing from no higher than 3.4 m above the entry, porch or verandah floor, must not exceed 4.9 m.

4.6.2.15 Where a front entry, porch or verandah area includes columns, piers, pillars or posts or other similar elements, these must not exceed the lesser of the first storey ceiling height or 3.1 m above the entry, porch or verandah floor and where they are used on a deck, balcony, or roof area directly above this first-storey entry, porch or verandah area, no columns, piers, pillars, posts or other similar elements may exceed 1.2 m in height above the second storey floor level.

4.6.2.16 Except for front door side lights to a total maximum of 2.3 m² and for transom lights over front doors to a maximum of 2.3 m², windows must be of clear glass or leaded clear glass or leaded stained glass, except bevelled glass, frosted glass, sandblasted glass or glass block may be used for basement windows, windows at stairwells or any windows into lavatories, bathrooms or dressing rooms.

4.6.2.17 Exterior wall cladding materials must:

- (a) include wood, unglazed brick with a minimum thickness of 50 mm, non-polished stone with a minimum thickness of 76 mm, split-face stone, split-face concrete block, stone-dash stucco, pebble-dash stucco, acrylic stucco, paint, stain or similar coatings;
- (b) include, in addition to the materials listed in section [4.6.2.17\(a\)](#) above, concrete or concrete block for foundation walls below the first storey and any material for architectural accents up to a maximum of 1.0 m² per building elevation;
- (c) not be used so that more than 2 wall cladding materials appear on any single building elevation, except a third material is permitted above the second storey on gable ends or dormers;
- (d) be used so that, where a building elevation includes a vertically continuous wall on the first and second storeys and this wall is also continuous to a gable end wall on a partial storey above the second storey, more than 1 wall cladding system will be required above the basement level;
- (e) be used so that, despite sections [4.6.2.17\(c\)](#) and [4.6.2.17\(d\)](#) above, materials on chimneys, basements, cellar or crawl space walls, entries, porches, verandahs, entry, porch or verandah columns, guards, handrails, windows, doors, window and door trims, belt courses, fascia boards, trim boards, gutters and drain pipes, architectural accents totalling less than 1.0 m² per building elevation, and entry, porch or verandah roof gable ends are not included when calculating the number of exterior wall cladding materials; and
- (f) be used so that all wall cladding materials used on a front facade are continued in equal proportions no less than 2.0 m along adjacent side walls or 1.2 m where the discontinuation of a material occurs at a change in the building wall plane such as at a bay window or chimney projection.

- 4.6.2.18 Roofing materials must consist of:
- (a) wood shingles or wood shakes in natural finish, or asphalt shingles coloured black, blue, grey, green, brown, burgundy, tan or beige; or
 - (b) slate or slate composites coloured black, green or grey; or
 - (c) copper or baked enamel matte or flat finished metal roof systems coloured black, grey, brown, beige or tan; or
 - (d) flat profile concrete or clay roof tiles in matte or flat finished colours black, grey, brown, beige or tan.
- 4.6.2.19 Nothing in section [4.6.2.18](#) above precludes the use of skylights or flashing.
- 4.6.2.20 Roofs with a slope of less than 4:12 will be exempt from the requirements of section [4.6.2.18](#) above and the roof materials thereon are not regulated by this schedule.
- 4.6.2.21 Except where a window or door is recessed at least 100 mm behind the adjacent exterior wall faces, all doors and windows must have a minimum 75 mm wide trim all around, except door sill trim may be omitted.
- 4.6.2.22 The Director of Planning may vary the requirements of sections [4.6.2.6](#) roof form, [4.6.2.8](#) roof decks, [4.6.2.9](#) dormers, [4.6.2.10](#) gables, [4.6.2.11](#) bay windows, [4.6.2.12](#) basements, [4.6.2.13](#) chimneys, [4.6.2.14](#) and [4.6.2.15](#) entries, porches or verandahs, [4.6.2.16](#) windows, [4.6.2.17](#) exterior wall cladding, [4.6.2.18](#) roofing materials, and [4.6.2.21](#) window trim if the Director of Planning:
- (a) considers the intent of this schedule and all applicable Council policies and guidelines;
 - (b) considers the impact on adjacent properties with regard to shadowing and loss of privacy;
 - (c) considers the design of the proposed development in relationship to neighbourhood character;
 - (d) may require the submission of photographs or drawings showing the subject property and surrounding properties; and
 - (e) may consider the submission of any advisory group, property owner or tenant.
- 4.6.2.23 For renovations and additions to a building existing prior to March 26, 1996, the Director of Planning may vary the requirements of sections [4.6.2.6](#) roof form, [4.6.2.8](#) roof decks, [4.6.2.9](#) dormers, [4.6.2.10](#) gables, [4.6.2.11](#) bay windows, [4.6.2.12](#) basements, [4.6.2.13](#) chimneys, [4.6.2.14](#) and [4.6.2.15](#) entries, porches or verandahs, [4.6.2.16](#) windows, [4.6.2.17](#) exterior wall cladding, [4.6.2.18](#) roofing materials, and [4.6.2.21](#) window trim where the Director of Planning considers these requirements to be unduly restrictive, and provided that the Director of Planning:
- (a) considers the intent of this schedule and all applicable Council policies and guidelines;
 - (b) considers the impact on neighbouring properties with particular regard to shadowing and loss of privacy;
 - (c) considers the presence of original materials and detailing and their architectural merit;

- (d) considers the extent and exterior design of the proposed new work as related to the existing buildings character and design;
- (e) may require the submission of photographs and drawings showing the existing property and surrounding properties; and
- (f) may consider the submission of any advisory group, property owner or tenant.

4.6.3 External design regulations for duplex and duplex with secondary suite

Duplex and duplex with secondary suite are subject to the external design regulations in this section [4.6.3](#).

4.6.3.1 There must be:

- (a) 2 main entrances, 1 to each principal dwelling unit;
- (b) on a corner site, 1 main entrance facing the front street and 1 main entrance facing the flanking street; and
- (c) 1 entry, porch or verandah at each main entrance, with a minimum width and depth of 1.8 m.

4.6.3.2 The roof design must comply with the following provisions:

- (a) all roofs except for dormer roofs must:
 - (i) be either hip or gable, or a combination of both,
 - (ii) have a slope not less than 7:12 and not more than 12:12, and
 - (iii) intersect at its lower portion with the exterior wall face of the building or the vertical projection thereof at a line no higher than the lesser of 7.9 m above the base surface or the floor level of a partial storey, or attic above the second storey;
- (b) dormer roofs must be gable, hip or shed, and must have a slope of not less than 4:12;
- (c) the maximum total width of dormers provided on a partial storey above the second storey must not exceed 50% of the width of the elevation of the storey below;
- (d) all exterior dormer walls must be set back a minimum of 0.6 m from the exterior face of the wall of the storey below; and
- (e) despite section [4.6.3.2\(d\)](#) above, 1 dormer, which faces an interior side yard and provides headroom over a stair and any intermediate and top landings that provide access from the second storey to the partial storey above, may have its face wall flush or continuous with the second storey exterior wall face below.

4.6.3.3 The Director of Planning may vary the requirements of sections [4.6.3.1](#) and [4.6.3.2](#) above if, in the opinion of the Director of Planning, the design meets the intent of the regulations for quality and durability of design and architectural expression.

5 RELAXATIONS

- 5.1 For sites where the average slope within the allowable building envelope as determined by yard setbacks exceeds 15%, or for sites exceeding 30.5 m in width and 1,393 m² in area, and where, due to conditions peculiar to the site, literal enforcement of sections 4.2.1 and 4.2.3 of this schedule would result in an unnecessary hardship, the Director of Planning may relax the height regulations in sections 3 and 4 of this schedule to permit the height to be measured from a hypothetical surface determined by joining the existing grades at the intersections of the hypothetical lines defining the front and rear yards and the side property lines, except that if the Director of Planning is of the opinion that the hypothetical surface determined by joining the existing grades is not compatible with the existing grades of adjoining sites or general topography of the area, the Director of Planning may instead require that height be measured from base surface.
- 5.2 Where, due to conditions peculiar to the site or to the proposed development, literal enforcement would result in unnecessary hardship, the Director of Planning may relax:
- (a) the minimum front yard depth;
 - (b) the minimum side yard width;
 - (c) the minimum rear yard depth;
 - (d) the maximum building depth;
 - (e) the height of roofs in section 4.6.2.6; and
 - (f) the floor space ratio exclusions for parking in accessory buildings in section 4.1.2(c)(i) of this schedule,
- if the Director of Planning considers the intent of this schedule and, all applicable Council policies and guidelines, and the submission of any advisory group, property owner or tenant.
- 5.3 Where, due to the peculiarities of the site or special circumstances related to the use of the site, literal enforcement would result in unnecessary hardship, the Director of Planning may relax the maximum area of impermeable materials if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.