

RS-7

District Schedule

1 INTENT AND OVERVIEW

1.1 Intent

The intent of this schedule is to maintain the residential character of the area in the form of duplexes, single detached houses, secondary suites, laneway houses, infill, multiple conversion dwellings, multiple dwellings on large lots, and infill and multiple conversion dwellings in combination with retention of a character house. Duplexes on sites larger than 511 m² must include at least 1 secondary suite.

Without limitation, applicable Council policies and guidelines for consideration include the [RS-7 Design Guidelines](#), [RS-2 and RS-7 Infill and Multiple Dwelling Guidelines](#), [Multiple Conversion Dwelling Guidelines \(RS-1A, RS-2, RS-7, RT-1 AND RT-2 Districts\)](#), and [Guidelines for Additions, Infill and Multiple Conversion Dwelling in Association with the Retention of a Character House in an RS Zone](#).

1.2 Overview

The table below provides an overview of the outright and conditional approval uses in the RS-7 district, categorized by the minimum site area required, where applicable. Applicable density, form and placement regulations in section 3 of this schedule are cross-referenced in the third column.

Minimum Site Area	Use	Density, Form and Placement Regulations
929 m ²	Multiple Dwelling	3.1
	Infill (other than in combination with the retention of a character house)	3.1
	2 or more principal residential buildings on a site	3.1
334 m ²	Duplex or Duplex with Secondary Suite	3.2
	Single Detached House or Single Detached House with Secondary Suite	3.2
--	Other uses in section 2.1 of this schedule	3.2

2 USE REGULATIONS

2.1 Outright and Conditional Approval Uses

All outright and conditional approval uses are subject to all other provisions of this by-law, including [Section 2](#), [Section 10](#) and [Section 11](#), and compliance with the regulations of this schedule including section [2.2](#).

The uses identified in the table below as outright approval uses are permitted in this district and will be issued a permit.

The uses identified in the table below as conditional approval uses may be approved in this district by the Director of Planning, with or without conditions, if the Director of Planning considers:

- (a) the intent of this schedule and all applicable Council policies and guidelines; and
- (b) the submission of any advisory group, property owner or tenant.

Uses are listed under their general land use category. Applicable use-specific regulations in section [2.2](#) of this schedule are cross-referenced in the third column. Cross-references to applicable use-specific regulations are provided for information purposes only and do not form part of this by-law.

Use	Approval	Use-Specific Regulations
Agricultural Uses		
Urban Farm – Class A	Conditional	
Cultural and Recreational Uses		
Community Centre or Neighbourhood House	Conditional	
Library, in combination with Community Centre	Conditional	
Park or Playground	Conditional	
Dwelling Uses		
Duplex	Outright	2.2.1
Duplex with Secondary Suite	Conditional	2.2.1 , 2.2.2
Infill, in combination with the retention of a character house existing on the site as of January 16, 2018	Conditional	
Infill	Conditional	
Laneway House	Conditional	2.2.3
Mixed-Use Residential Building	Conditional	2.2.4
Multiple Conversion Dwelling, resulting from the conversion of a character house existing on the site as of January 16, 2018	Conditional	2.2.5
Multiple Conversion Dwelling	Conditional	2.2.6
Multiple Dwelling	Conditional	2.2.1
Principal Dwelling Unit with Lock-Off Unit	Conditional	2.2.7

Use	Approval	Use-Specific Regulations
Seniors Supportive or Assisted Housing	Conditional	2.2.2
Single Detached House	Outright	2.2.1
Single Detached House with Secondary Suite	Conditional	2.2.1
Institutional Uses		
Ambulance Station	Conditional	
Child Day Care Facility	Conditional	
Church	Conditional	
Community Care Facility – Class A	Outright	2.2.8
Community Care Facility – Class B	Conditional	
Group Residence	Conditional	
Hospital	Conditional	
Public Authority Use, essential in this district	Conditional	
School – Elementary or Secondary	Conditional	
Social Service Centre	Conditional	
Office Uses		
Temporary Sales Office	Conditional	
Parking Uses		
Parking Area, ancillary to a principal use on an adjacent site	Conditional	
Retail Uses		
Farmers' Market	Conditional	2.2.9
Neighbourhood Grocery Store	Conditional	
Public Bike Share	Conditional	
Service Uses		
Bed and Breakfast Accommodation	Conditional	
Short Term Rental Accommodation	Conditional	
Utility and Communication Uses		
Public Utility	Conditional	
uncategorized		
Accessory Buildings, customarily ancillary to any use listed in this section 2.1	Outright	2.2.10
Accessory Buildings, customarily ancillary to any use listed in this section 2.1 and not permitted as an outright approval use	Conditional	
Accessory Uses, customarily ancillary to any outright approval use listed in this section 2.1	Outright	2.2.11

Use	Approval	Use-Specific Regulations
Accessory Uses, customarily ancillary to any conditional approval use listed in this section 2.1	Conditional	
Deposition or extraction of material, which alters the configuration of the land	Conditional	

2.2 Use-Specific Regulations

- 2.2.1 The Director of Planning may permit more than 1 principal residential building on a site, if the Director of Planning considers:
- (a) the height, bulk, location and overall design of the buildings and their impact on the site, surrounding buildings, streets and existing views;
 - (b) the amount of open space and the impact of overall design on the general amenity of the area;
 - (c) the preservation of the architectural character and general amenity desired for the area; and
 - (d) the intent of this schedule and all applicable Council policies and guidelines.
- 2.2.2 Duplex with secondary suite must have no more than 1 secondary suite for each dwelling unit.
- 2.2.3 Laneway house is regulated by [Section 11](#) of this by-law and sections [3](#) and [4](#) of this schedule do not apply.
- 2.2.4 The only non-dwelling use permitted in a mixed-use residential building is neighbourhood grocery store.
- 2.2.5 Multiple conversion dwelling resulting from the conversion of a character house existing on the site as of January 16, 2018, may be permitted if it contains no housekeeping or sleeping units.
- 2.2.6 Multiple conversion dwelling may be permitted if:
- (a) the Director of Planning considers the quality and liveability of the resulting units, and the impact of the conversion on adjacent properties and the character of the area; and
 - (b) no development permit is issued unless the Director of Planning is satisfied that the dwelling will comply with the relevant provisions of other by laws that relate to the design, construction and safety of buildings and until the requisite permits required by such by laws are issuable.
- 2.2.7 Principal dwelling unit with lock-off unit may be permitted only in:
- (a) a duplex and there may be no more than 1 lock-off unit for each dwelling unit; and
 - (b) a duplex with secondary suite if there is only 1 secondary suite and only 1 lock-off unit and the lock-off unit is in the dwelling unit without a secondary suite.

- 2.2.8 Community care facility – class A is subject to the regulations, variations and relaxations that apply to single detached house.
- 2.2.9 Farmers' market may be permitted if the Director of Planning considers the appropriateness of the use with respect to compatibility with nearby sites, parking, traffic, noise, hours of operation, size of facility and pedestrian amenity.

2.2.10 Accessory buildings customarily ancillary to any use listed in section 2.1 of this schedule are permitted as an outright approval use if:

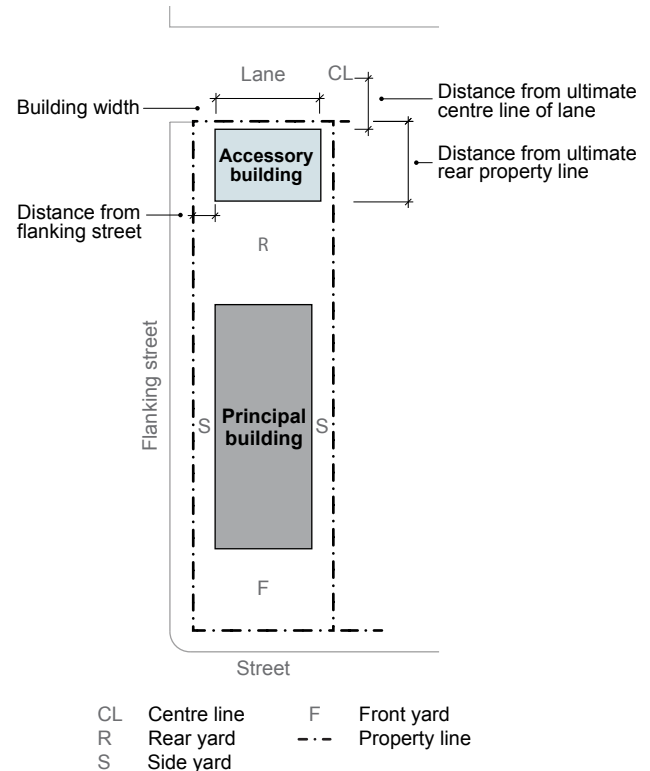
- (a) no accessory building exceeds 3.7 m in height, measured to:
- the highest point of a flat roof,
 - the deck line of a mansard roof, or
 - the mean height between the eaves and the ridge of a gable, hip or gambrel roof,

provided that no portion of an accessory building exceeds 4.6 m in building height;

- (b) all accessory buildings are located:
- within 7.9 m of the ultimate rear property line or within the permitted building depth as prescribed in this schedule,
 - at least 3.1 m from the ultimate centre line of any rear or flanking lane, and
 - at least 1.5 m from a flanking street;

- (c) for all uses except for duplex and duplex with secondary suite, the total floor area of all accessory buildings, measured to the extreme outer limits of the building, does not exceed 45% of the minimum rear yard prescribed in this schedule, or 48 m², whichever is greater, except that the total allowable accessory building floor area will be reduced by:
- floor area previously excluded from existing development pursuant to section 4.1.2(c) of this schedule, and
 - the floor area of a laneway house;
- (d) for duplex and duplex with secondary suite, the total floor area of all accessory buildings, measured to the extreme outer limits of the building, does not exceed 48 m²;

Diagram: Building placement for accessory building



- (e) the combined building width for all accessory buildings does not exceed 80% of the width of the site at the rear property line; and
- (f) roof decks and decks are only located on an accessory building that is within the permitted building depth as prescribed in this schedule.

2.2.11 Accessory parking spaces customarily ancillary to any outright approval use listed in section 2.1 of this schedule must comply with the provisions of section 2.2.10(b) above.

3 DENSITY, FORM AND PLACEMENT REGULATIONS

This section contains density, form and placement regulations organized by use.

3.1 Multiple Dwelling, 2 or more Principal Residential Buildings on a Site, and Infill (other than in combination with a character house)

Multiple dwelling, 2 or more principal residential buildings on a site, and infill other than in combination with a character house existing on the site as of January 16, 2018 are subject to the following regulations.

3.1.1 Density and Floor Area

3.1.1.1 The maximum floor space ratio is 0.60, except that:

- (a) the floor space ratio is increased to 0.70 if:
 - (i) the area of all floors at or above finished grade does not exceed a floor space ratio of 0.45,
 - (ii) the area of any floor, including the basement or cellar, does not exceed a floor space ratio of 0.25, and
 - (iii) no portion of the basement or cellar projects horizontally beyond the perimeter of the first storey, including entries, porches and verandahs;
- (b) for buildings existing prior to July 7, 2009, the floor space ratio for the area of all floors at, above or below finished grade, is increased to 0.75 to permit the addition of a basement or cellar, if:
 - (i) the area of all floors at or above finished grade does not exceed the lesser of a floor space ratio of 0.50 and the existing floor space ratio,
 - (ii) the area of any floor, including the basement or cellar, does not exceed a floor space ratio of 0.25, and
 - (iii) no portion of the basement or cellar projects horizontally beyond the perimeter of the first storey, including entries, porches and verandahs; and
- (c) the Director of Planning may increase the permitted floor space ratio to a maximum of 0.75 if the Director of Planning considers the intent of this schedule, all applicable Council policies and guidelines and the submission of any advisory group, property owner, or tenant.

3.1.1.2 The total number of units on a site must not exceed 62 units per hectare, except it need not be less than 2 units.

3.1.2 Building Form and Placement

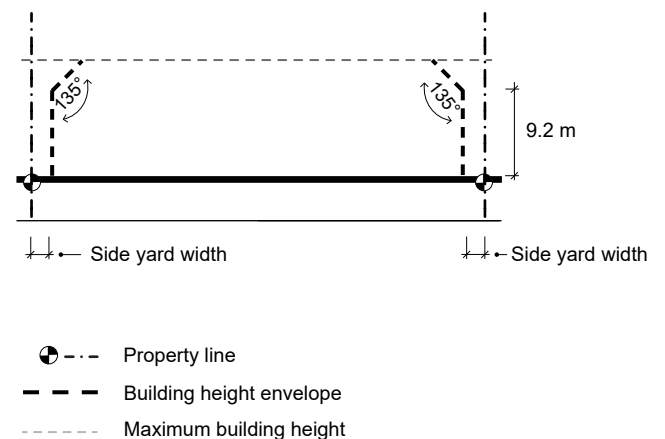
Regulations	RS-7
3.1.2.1 Minimum site area	929 m ²

Regulations	RS-7
3.1.2.2 Maximum building height	10.7 m and 3 storeys
3.1.2.3 Required front yard depth	20% of the site depth
3.1.2.4 Minimum side yard width for:	
(a) multiple dwelling	2.1 m
(b) infill and 2 or more principal residential buildings where the site width does not exceed 15.0 m	10% of the site width
(c) infill and 2 or more principal residential buildings where the site width exceeds 15.0 m	1.5 m
3.1.2.5 Minimum rear yard depth for a site with an average depth:	
(a) not exceeding 36.6 m	10.7 m
(b) exceeding 36.6 m	30% of the site depth
3.1.2.6 Maximum site coverage for all buildings	40% of the site area
3.1.2.7 Maximum area of impermeable materials for infill and 2 or more principal residential buildings on a site	60% of the site area
3.1.2.8 Maximum building depth	40% of the site depth

Building Height

- 3.1.2.9 Despite the maximum building height in section 3.1.2.2 above, the third storey must be a partial storey not exceeding 50% of the storey immediately below.
- 3.1.2.10 Despite the maximum building height in section 3.1.2.2 above, the building height must not exceed an envelope located in compliance with the side yard regulations and formed by planes vertically extended 9.2 m in height and then extending inward and upward at an angle of 135 degrees from the vertical.

Diagram: Maximum building height envelope



Front Yard

3.1.2.11 Despite the required front yard depth in section 3.1.2.3 above on a site where the average front yard depth of the 2 adjacent sites on each side of the site is more than the 20% depth by at least 1.5 m or is less than the 20% depth, the minimum front yard depth will be that average, subject to the following:

- (a) where an adjacent site is vacant, it is deemed to have a front yard depth of 20% of the site depth;
- (b) if 1 or more of the adjacent sites front on a street other than that of the development site or the adjacent sites are separated by a street or lane, then such adjacent sites will not be used in computing the average; and
- (c) where the site is adjacent to a flanking street or lane, the average depth will be computed using the remainder of the adjacent sites.

3.1.2.12 The Director of Planning may vary the required front yard depth on a double fronting site or a site where a building line has been established pursuant to section 8.1.1 of this by-law.

3.1.2.13 If the provisions of sections 3.1.2.5 and 3.1.2.11 above result in a distance between the front yard and the rear yard that is less than 40% of the site depth, and if the principal building is sited so that it abuts the required rear yard, the required front yard depth will be reduced so that the distance between the front yard and the rear yard is equal to 40% of the site depth.

Side Yard

3.1.2.14 The Director of Planning may vary:

- (a) the minimum side yard width in section 3.1.2.4(a) above; and

Diagram: Building placement for multiple dwelling

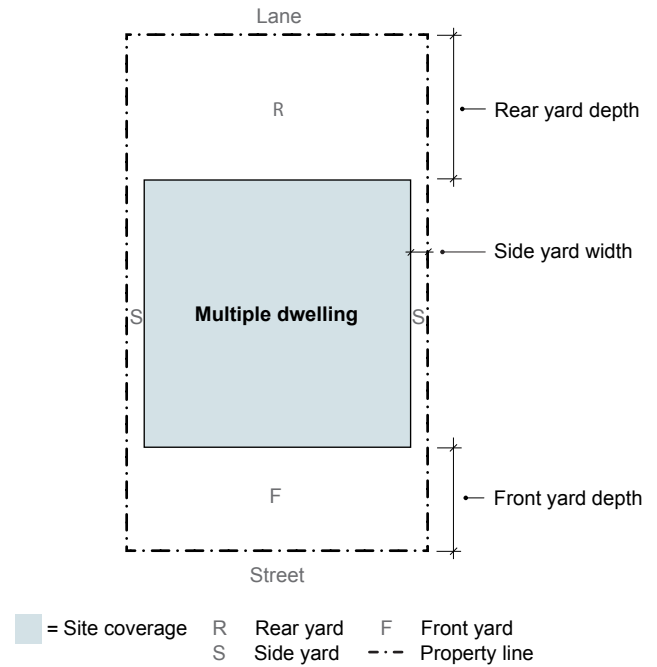
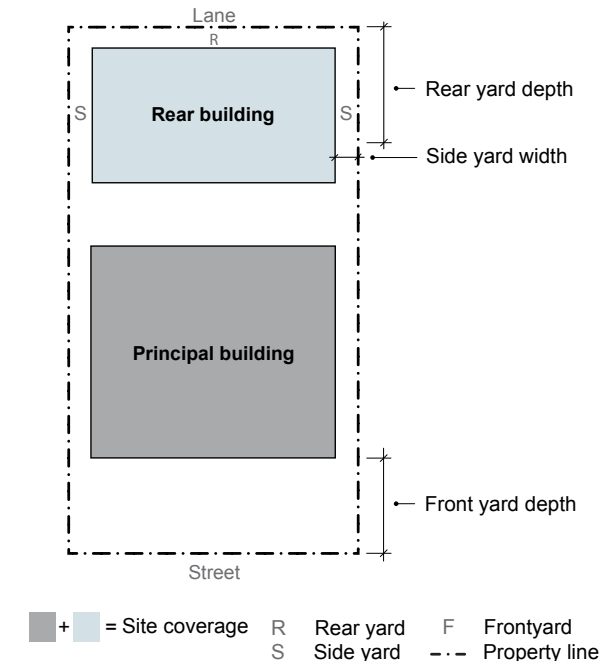


Diagram: Building placement for 2 or more principal buildings or infill



- (b) the minimum side yard width in sections [3.1.2.4\(b\)](#) and [3.1.2.4\(c\)](#) above, provided that:
 - (i) any building not within the building depth specified in section [3.1.2.8](#) above must have a building height not exceeding 7.3 m measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height between the eaves and the ridge of a gable, hip or gambrel roof, provided that no portion of the building may exceed 8.5 m in building height, and
 - (ii) the Director of Planning considers:
 - (A) the height, bulk, location, and overall design of buildings and their impact on the site, surrounding buildings, adjacent properties, and the streetscape,
 - (B) the amount of open space and the impact of the overall design on the general amenity of the area, and
 - (C) the intent of this schedule and all applicable Council policies and guidelines.

Rear Yard

- 3.1.2.15 The Director of Planning may vary the minimum rear yard depth for infill or 2 or more principal residential buildings on a site, provided that:
- (a) any building not within the building depth specified in section [3.1.2.8](#) above must have a building height not exceeding 7.3 m measured to the highest point of the roof if a flat roof, to the deck line of a mansard roof, or to the mean height between the eaves and the ridge of a gable, hip or gambrel roof, provided that no portion of the building may exceed 8.5 m in building height; and
 - (b) the Director of Planning considers:
 - (i) the height, bulk, location, and overall design of buildings and their impact on the site, surrounding buildings, adjacent properties, and the streetscape,
 - (ii) the amount of open space and the impact of the overall design on the general amenity of the area, and
 - (iii) the intent of this schedule and all applicable Council policies and guidelines.

Site Coverage

- 3.1.2.16 The Director of Planning may vary the maximum site coverage.

Area of Impermeable Materials

- 3.1.2.17 Where developed secondary vehicular access to a site is not available, the Director of Planning may exclude from the area of impermeable materials, an amount not exceeding:
- (a) for the first parking space, the product of the distance, in metres as measured along the driveway centre line, from the point where the driveway crosses the property boundary to the point where it meets the nearest side of the approvable parking space multiplied by 3.1 m; and

(b) for each additional parking space, 67 m² to accommodate vehicular access and manoeuvring.

3.1.2.18 The Director of Planning may vary the maximum area of impermeable materials.

3.2 Other Uses

Duplex, duplex with secondary suite, single detached house, single detached house with secondary suite, uses involving character retention, and all other uses not regulated by section 3.1 of this schedule are subject to the following regulations.

3.2.1 Density and Floor Area

3.2.1.1 The maximum floor space ratio for all uses except duplex and duplex with secondary suite is 0.60, except that:

- (a) for single detached house, single detached house with secondary suite and multiple conversion dwelling, the Director of Planning may increase the permitted floor space ratio to 0.64, if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines;
- (b) the floor space ratio is increased to 0.70 if:
 - (i) the area of all floors at or above finished grade does not exceed a floor space ratio of 0.45,
 - (ii) the area of any floor, including the basement or cellar, does not exceed a floor space ratio of 0.25, and
 - (iii) no portion of the basement or cellar projects horizontally beyond the perimeter of the first storey, including entries, porches and verandahs;
- (c) for buildings existing prior to July 7, 2009, the floor space ratio for the area of all floors at, above or below finished grade, is increased to 0.75 to permit the addition of a basement or cellar, if:
 - (i) the area of all floors at or above finished grade does not exceed the lesser of a floor space ratio of 0.50 and the existing floor space ratio,
 - (ii) the area of any floor, including the basement or cellar, does not exceed a floor space ratio of 0.25, and
 - (iii) no portion of the basement or cellar projects horizontally beyond the perimeter of the first storey, including entries, porches and verandahs; and
- (d) the Director of Planning may increase the permitted floor space ratio to a maximum of:
 - (i) 0.75 to facilitate converting a character house to a multiple conversion dwelling; and
 - (ii) 0.85 for infill in combination with the retention of a character house,
 if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

3.2.1.2 For duplex and duplex with secondary suite, the maximum floor space ratio is 0.70, except that the area of all floors at or above finished grade and of the floors of any storey, basement or cellar located below a storey which has a floor surface located 1.8 m or more above finished grade must not exceed 371 m².

3.2.1.3 For multiple conversion dwelling, the total number of units on a site must not exceed 62 units per hectare, except it need not be less than 2 units.

3.2.2 Building Form and Placement

Regulations	RS-7
3.2.2.1 Minimum site area for:	334 m ²
(a) duplex or duplex with secondary suite	
(b) single detached house or single detached house with secondary suite	
(c) multiple conversion dwelling	
3.2.2.2 Maximum site area for duplex	511 m ²
3.2.2.3 Maximum building height	10.7 m and 3 storeys
3.2.2.4 Minimum front yard depth	20% of the site depth
3.2.2.5 Minimum side yard width where the site width:	10% of the site width
(a) does not exceed 15.0 m, for single detached house, single detached house with secondary suite, duplex and duplex with secondary suite, multiple conversion dwelling and community care facility – class A	
(b) exceeds 15.0 m, for single detached house, single detached house with secondary suite, duplex and duplex with secondary suite, multiple conversion dwelling and community care facility – class A	
(c) all other uses	2.1 m
3.2.2.6 Minimum rear yard depth for a site with an average depth:	10.7 m
(a) not exceeding 36.6 m	
(b) exceeding 36.6 m	30% of the site depth
3.2.2.7 Maximum site coverage for all buildings for:	45% of the site area
(a) duplex or duplex with secondary suite	
(b) all other uses	40% of the site area
3.2.2.8 Maximum area of impermeable materials	60% of the site area

Regulations	RS-7
3.2.2.9 Maximum building depth	40% of the site depth

Site Area and Site Width

- 3.2.2.10 The Director of Planning may reduce the minimum site area in section 3.2.2.1 above if the existing lot is on record in the Land Title Office.
- 3.2.2.11 The design of any new dwelling will first require the approval of the Director of Planning if:
 - (a) the site width is less than 9.8 m; or
 - (b) the site area is less than 334 m².

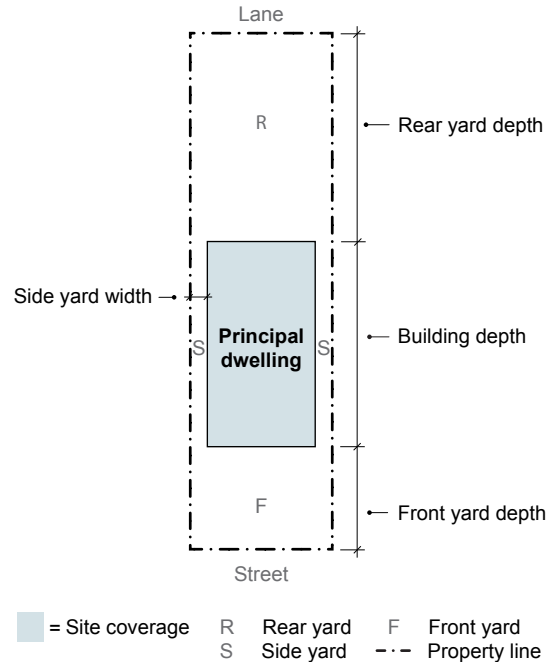
Building Height

- 3.2.2.12 Despite the maximum building height in section 3.2.2.3 above, the third storey must be a partial storey not exceeding 50% of the storey immediately below.
- 3.2.2.13 Despite the maximum building height in sections 3.2.2.3 and 3.2.2.12 above, the building height must not exceed an envelope located in compliance with the side yard regulations and formed by planes vertically extended 9.2 m in height and then extending inward and upward at an angle of 135 degrees from the vertical.

Front Yard

- 3.2.2.14 Despite the required front yard depth in section 3.2.2.4 above on a site where the average front yard depth of the 2 adjacent sites on each side of the site is more than the 20% depth by at least 1.5 m or is less than the 20% depth, the minimum front yard depth will be that average, subject to the following:
 - (a) where an adjacent site is vacant, it is deemed to have a front yard depth of 20% of the site depth;
 - (b) if 1 or more of the adjacent sites front on a street other than that of the development site or the adjacent sites are separated by a street or lane, then such adjacent sites will not be used in computing the average; and
 - (c) where the site is adjacent to a flanking street or lane, the average depth will be computed using the remainder of the adjacent sites.

Diagram: Building placement for principal dwelling



- 3.2.2.15 The Director of Planning may vary the required front yard depth in sections [3.2.2.4](#) and [3.2.2.14](#) above on a double fronting site or a site where a building line has been established pursuant to section [8.1.1](#) of this by-law.
- 3.2.2.16 If the provisions of sections [3.2.2.6](#) and [3.2.2.14](#) above result in a distance between the front yard and the rear yard that is less than 40% of the site depth, and if the principal building is sited so that it abuts the required rear yard, the required front yard depth will be reduced so that the distance between the front yard and the rear yard is equal to 40% of the site depth.

Area of Impermeable Materials

- 3.2.2.17 Where developed secondary vehicular access to a site is not available, the Director of Planning may exclude from the area of impermeable materials in section [3.2.2.8](#) above an amount not exceeding:
- (a) for the first parking space, the product of the distance, in metres as measured along the driveway centre line, from the point where the driveway crosses the property boundary to the point where it meets the nearest side of the approvable parking space multiplied by 3.1 m; and
 - (b) for each additional parking space, 67 m² to accommodate vehicular access and manoeuvring.
- 3.2.2.18 The Director of Planning may increase the maximum area of impermeable materials in section [3.2.2.8](#) above for buildings existing prior to January 9, 2001 to a maximum of 70% of the total site area if:
- (a) the percentage of the site area covered by existing impermeable materials is not increased by the proposed development; and
 - (b) the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

4 GENERAL REGULATIONS

All uses in this district are subject to the following regulations.

4.1 Computation of Floor Area

4.1.1 Computation of floor area must include:

- (a) all floors, including earthen floor, measured to the extreme outer limits of the building including accessory buildings;
- (b) stairways, fire escapes, elevator shafts, and other features that the Director of Planning considers similar to the foregoing, measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located;
- (c) where the distance from a floor to the floor above, or where there is no floor above, to the top of the roof joists, exceeds 3.7 m, an amount equal to the area of the floor below the excess height; and
- (d) the floor area of bay windows, regardless of seat height, location in building or relationship to yard setbacks, which exceeds the product of the total floor area permitted above the basement multiplied by 0.01.

4.1.2 Computation of floor area must exclude:

- (a) balconies and decks, and any other appurtenances that the Director of Planning considers similar to the foregoing, provided that the total area of these exclusions does not exceed 8% of the permitted floor area;
- (b) patios and roof decks, if the Director of Planning considers the impact on privacy and overlook;
- (c) where floors are used for off-street parking, off-street loading, the taking on or discharging of passengers, bicycle storage in multiple conversion dwellings containing 3 or more dwelling units or in multiple dwellings or uses that the Director of Planning considers similar to the foregoing, those floors or portions thereof not exceeding 7.3 m in length, which:
 - (i) are located in an accessory building located within 7.9 m of the ultimate rear property line, or
 - (ii) where a site has no developed secondary access, are located in a principal building, or in an accessory building located within the building depth prescribed in this schedule, up to a maximum of 42 m²; or
 - (iii) where the site is less than 307 m² in area, are located in a principal building, located within the building depth prescribed in this schedule, up to a maximum of 42 m², or
 - (iv) provide parking for a multiple dwelling and are within a structure that is wholly below finished grade except for the vehicular access ramp and pedestrian stairs;
- (d) child day care facilities to a maximum floor area of 10% of the permitted floor area, if the Director of Planning is satisfied that there is a need for a day care facility in the immediate neighbourhood;
- (e) areas of undeveloped floors that are located:

- (i) above the highest storey or partial storey, and to which there is no permanent means of access other than a hatch; or
 - (ii) adjacent to a storey or partial storey with a ceiling height of less than 1.2 m;
- (f) floors located at or below finished grade with a ceiling height of less than 1.2 m;
- (g) entries, porches and verandahs, and covered porches above the first storey, if:
- (i) for all uses except for duplex and duplex with secondary suite, they face a street or a rear property line and entries, porches and verandahs are located at the basement or first storey,
 - (ii) for duplex and duplex with secondary suite, they face a street or rear property line,
 - (iii) the side facing the street or rear property line is open or protected by guards that do not exceed the required minimum height,
 - (iv) the total area of these exclusions, when combined with the balcony and deck exclusions under section [4.1.2\(a\)](#) above, does not exceed 13% of the permitted floor area,
 - (v) for duplex and duplex with secondary suite, the depth of the total area being excluded for covered porches above the first storey does not exceed 1.83 m,
 - (vi) for duplex and duplex with secondary suite, the ceiling height, excluding roof structure, of the total area being excluded does not exceed 3.1 m measured from the entry, porch or verandah floor, and
 - (vii) for all uses except for duplex and duplex with secondary suite, the maximum height must comply with section [4.5.2.14](#) of this schedule;
- (h) unconditioned floor areas with a ceiling height or height to the underside of joists of less than 2.0 m, located below the floors of entries, porches and verandahs complying with section [4.1.2\(h\)](#) above, to which there is no access from the interior of the building;
- (i) the floor area of a laneway house; and
- (j) areas of floors existing, proposed or as may be extended over open-to-below space located directly below sloping roof rafters or a sloping ceiling where the ceiling is directly attached to the underside of sloping roof rafters, and where the roof joists have a minimum 7:12 pitch and the related ceiling maintains the same pitch as the roof joists, if:
- (i) the distance from the floor to any part of the roof rafters or ceiling is no higher than 2.3 m and no lower than 1.2 m, both measured vertically, and
 - (ii) the excluded floor area does not exceed 10% of the permitted floor area,
- and despite the definition of “partial storey” in [Section 2](#) of this by-law, for the purposes of this schedule the maximum permitted floor area contained in a partial storey must not include floor area excluded in this section [4.1.2\(j\)](#).

4.1.3 In the case of a corner site, where the rear property line of a site adjoins the side yard of a site in an R district, without the intervention of a lane, the Director of Planning may vary the provisions of section [4.1.2](#)

above to permit the exclusion of floor space used for off-street parking in the principal building up to a maximum of 42 m².

4.2 Dwelling Unit Density: Calculation

4.2.1 Where the calculation of dwelling units per hectare results in a fractional number, the number must be rounded down.

4.3 Site Coverage and Impermeability: Measurement

4.3.1 Except where the principal use of the site is a parking area, the maximum site coverage for any portion of the site used as parking area is 30%.

4.3.2 The maximum area of impermeable materials includes site coverage for all buildings.

4.4 Building Depth: Measurement

4.4.1 Building depth means the distance from, and perpendicular to, the required front yard, measured in a straight line to a point directly opposite thereto at the furthest extent of the building, including decks, except that where an existing building encroaches into the required front yard, the distance shall be measured from the front exterior wall rather than the required front yard.

4.4.2 Projections into yards permitted in [Section 10](#) of this by-law not be included in the calculation of building depth.

4.5 External Design

4.5.1 External design regulations for all uses

All uses are subject to the external design regulations in this section [4.5.1](#).

4.5.1.1 On sites less than 307 m² in area, a vehicular driveway access ramp to parking in a basement or cellar may be provided and the surface of the ground adjoining the principle building may be lowered without affecting the calculation of the first storey floor elevation, if:

- (a) the lowered surface is no wider than 6.1 m; and
- (b) the portion of the building abutting the lowered surface faces a street or lane.

4.5.1.2 Exterior windows in a secondary suite or lock-off unit must have:

- (a) a minimum total glazing area of 10% of the total floor area of the room, in each of the kitchen, living room and dining room; and

- (b) a minimum total glazing area of 5% of the total floor area of the room, in all other rooms, except bathrooms and laundry rooms.

4.5.1.3 For multiple dwelling, infill, 2 or more principal residential buildings on a site, and any building for non-dwelling use, except for Community Care Facility – Class A, the Director of Planning may vary any of the requirements of this section 4.5 provided that:

- (a) the Director of Planning considers the impact on neighbouring properties with particular regard to shadowing and loss of privacy;
- (b) the Director of Planning considers the neighbourhood character and the general compatibility therewith;
- (c) for infill, the Director of Planning considers the design of the infill in relationship to the existing principal building including its retention of original materials and detailing, and its architectural merit;
- (d) the Director of Planning may consider the submission of any advisory group, property owner or tenant; and
- (e) the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.

4.5.2 External design regulations for all uses, except duplex and duplex with secondary suite

All uses, except duplex and duplex with secondary suite, are subject to the external design regulations in this section 4.5.2.

4.5.2.1 For the purposes of this section 4.5.2:

- (a) “front entrance” means a door facing the front yard and located at or within 2.0 m of grade or connected to grade by stairs, a ramp or other means; and
- (b) “side entrance” means a door located on that part of a building facing a side yard and at or within 2.0 m of grade or connected to grade by stairs, a ramp or other means.

4.5.2.2 For single detached house, there must be no more than 1 separate and distinct front entrance.

4.5.2.3 For single detached house with secondary suite, there must be no more than 2 separate and distinct front entrances.

4.5.2.4 A side entrance to a dwelling must face a street or lane, or be located at least 5.0 m from the side property line, and there must be no more than 1 side entrance facing each side yard, except where the side yard faces a street or lane.

4.5.2.5 Despite sections 4.5.2.2, 4.5.2.3 and 4.5.2.4 above, the Director of Planning may, on the advice of the Chief Building Official, permit 1 additional entrance facing a front yard or a side yard if it provides access to a building existing prior to March 14, 1989.

- 4.5.2.6 For portions of a building more than 7.3 m in building height:
- (a) dormer roofs must:
 - (i) be either gable, hip or shed,
 - (ii) have a slope not less than 4:12 and not more than 14:12, and
 - (iii) not exceed 9.1 m above the horizontal datum plane, except for dormers described under section [4.5.2.9\(c\)](#) below; and
 - (b) all roofs other than dormer roofs must:
 - (i) be either hip or gable or a combination of both,
 - (ii) have a slope not less than 6:12 and not more than 14:12, and
 - (iii) intersect at its lower portion with the exterior wall face of the building or the vertical projection thereof at a line no higher than the lesser of 7.3 m above the base surface or 0.6 m above the floor level of a partial storey or attic above the second storey.
- 4.5.2.7 Portions of a building conforming to sections [10.17.1\(a\)](#), [10.17.1\(c\)](#) and [10.17.1\(d\)](#) of this by-law will not be considered for the determination of building height under section [4.5.2.6](#) above.
- 4.5.2.8 Roof decks are permitted above the second storey if:
- (a) the total area of the roof deck does not exceed 0.03 multiplied by the site area;
 - (b) the base of the roof deck must not exceed 0.6 m above the floor level of a partial storey or attic above the second storey; and
 - (c) the roof deck must be entirely contained in the rear half of the permitted building depth and be set back a minimum of 0.6 m from the perimeter walls of the second storey.
- 4.5.2.9 Where a dormer or dormers are provided on a partial storey above the second storey:
- (a) the total width of the dormer or dormers:
 - (i) facing a rear yard must not exceed 40% of the total width of the elevation of the storey below,
 - (ii) facing an interior side yard must not exceed 25% of the total width of the elevation of the storey below, and
 - (iii) facing a street or flanking lane must not exceed:
 - (A) 25% of the width of the storey below where there is 1 dormer, or
 - (B) 30% of the width of the storey below where there are 2 or more dormers, each separated by at least 1.5 m;
 - (b) all exterior dormer walls must be set back a minimum of 0.6 m from the exterior face of the wall of the storey below;

- (c) despite sections [4.5.2.9\(a\)](#) and [4.5.2.9\(b\)](#) above, where a site is less than 13.7 m in width, 1 dormer, which faces an interior side yard and which provides headroom over a stair and any intermediate and top landings which provide access from the second storey to the partial storey above:
 - (i) may have its face wall flush or continuous with the second storey exterior wall face below, and
 - (ii) need not be less than 4.6 m in width, and
 - (iii) no other dormers are permitted facing this interior side yard; and
- (d) they must face only 1 side yard on lots less than 13.7 m in width, except where a lot is a corner lot, dormers may face both side yards.

4.5.2.10 Gable end walls must be designed so that:

- (a) a gable roof, any portion of which is greater than 7.3 m in height, must not have gable end walls with ridges more than 7.3 m in height on more than 2 building elevations; and
- (b) no more than 1 gable end wall on a building elevation may exceed 9.1 m in height.

4.5.2.11 A bay window projecting into a required yard, as permitted under [Section 10](#) of this by-law, must not exceed 2.4 m at its widest dimension and the total width of all bay windows projecting into a required yard, measured at their widest dimensions, must not exceed 25% of the width of the storey on that elevation where they are located.

4.5.2.12 Where a basement or cellar horizontally projects beyond the first storey, the projecting area must:

- (a) face the rear property line or an interior side yard; or
- (b) face the street towards which the front entry faces and be under an approved deck, planter or patio at or below the first storey floor level; or
- (c) on a corner lot, face a street other than as described in section [4.5.2.12\(b\)](#) above, and not be closer to the property line fronting this street than the closest portion of the first storey; or
- (d) be below an entry, porch and verandah as described in section [10.8](#) of this by-law, except in no case may a basement or cellar project into a required yard or exceed permitted building depth requirements.

4.5.2.13 Metal chimney flues or vents must be visually screened from view by a non-combustible enclosure except that this requirement will not apply to through-wall-direct-vented gas fireplaces.

4.5.2.14 The maximum height of entries, porches and verandahs will be governed by the following:

- (a) the height above the entry, porch or verandah floor to the ceiling must not exceed 3.1 m and the height above the entry, porch or verandah floor to the top of a flat roof covering the entry, porch or verandah must not exceed 4.0 m; or

- (b) the height above the entry, porch or verandah floor to the ridge or highest point of a gable, hip, or vaulted roof springing from no higher than 3.4 m above the entry, porch or verandah floor, must not exceed 4.9 m.

4.5.2.15 Where a front entry, porch or verandah area includes columns, piers, pillars or posts or other similar elements, these must not exceed the lesser of the first storey ceiling height or 3.1 m above the entry, porch or verandah floor and where they are used on a deck, balcony or roof area directly above this first-storey entry, porch or verandah area, no columns, piers, pillars, posts or other similar elements may exceed 1.2 m in height above the second storey floor level.

4.5.2.16 Except for front door side lights to a total maximum of 2.3 m² and for transom lights over front doors to a maximum of 2.3 m², windows must be of clear glass or leaded clear glass or leaded stained glass, except bevelled glass, frosted glass, sandblasted glass or glass block may be used for basement windows, windows at stairwells or any windows into lavatories, bathrooms or dressing rooms.

4.5.2.17 Exterior wall cladding materials must:

- (a) include wood, unglazed brick with a minimum thickness of 50 mm, non-polished stone with a minimum thickness of 76 mm, split-face stone, split-face concrete block, stone-dash stucco, pebble-dash stucco, acrylic stucco, paint, stain or similar coatings;
- (b) include, in addition to the materials listed in section [4.5.2.17\(a\)](#) above, concrete or concrete block for foundation walls below the first storey and any material for architectural accents up to a maximum of 1 m² per building elevation;
- (c) must not be used so that more than 2 wall cladding materials appear on any single building elevation, except a third material is permitted above the second storey on gable ends or dormers;
- (d) must be used so that, where a building elevation includes a vertically continuous wall on the first and second storeys and this wall is also continuous to a gable end wall on a partial storey above the second storey, more than 1 wall cladding system will be required above the basement level;
- (e) may be used so that, despite sections [4.5.2.17\(c\)](#) and [4.5.2.17\(d\)](#) above, materials on chimneys, basements, cellar or crawl space walls, entries, porches, verandahs, entry, porch or verandah columns, guards, handrails, windows, doors, window and door trims, belt courses, fascia boards, trim boards, gutters and drain pipes, architectural accents totalling less than 1 m² per building elevation, and entry, porch or verandah roof gable ends are not included when calculating the number of exterior wall cladding materials; and
- (f) must be used so that all wall cladding materials used on a front facade are continued in equal proportions no less than 2.0 m along adjacent side walls or 1.2 m where the discontinuation of a material occurs at a change in the building wall plane such as at a bay or chimney projection.

4.5.2.18 Roofing materials must consist of:

- (a) wood shingles or wood shakes in natural finish, or asphalt shingles coloured black, blue, grey, green, brown, burgundy, tan or beige; or
- (b) slate or slate composites coloured black, green or grey; or

- (c) copper or baked enamel matte or flat finished metal roof systems coloured black, grey, brown, beige or tan; or
- (d) flat profile concrete or clay roof tiles in matte or flat finished colours black, grey, brown, beige or tan.

- 4.5.2.19 Nothing in section [4.5.2.18](#) above precludes the use of skylights or flashing.
- 4.5.2.20 Roofs with a slope of less than 4:12 will be exempt from the requirements of section [4.5.2.18](#) above and the roof materials thereon are not regulated by this schedule.
- 4.5.2.21 Except where a window or door is recessed at least 100 mm behind the adjacent exterior wall faces, all doors and windows must have a minimum 75 mm wide trim all around, except door sill trim may be omitted.
- 4.5.2.22 Where renovations and additions are proposed to a building existing prior to January 9, 2001, the Director of Planning may vary the requirements of sections [4.5.2.6](#) roof form, [4.5.2.8](#) roof decks, [4.5.2.9](#) dormers, [4.5.2.10](#) gables, [4.5.2.11](#) bay windows, [4.5.2.12](#) basements, [4.5.2.13](#) chimneys, [4.5.2.14](#) and [4.5.2.15](#) entries, porches or verandahs, [4.5.2.16](#) windows, [4.5.2.17](#) exterior wall cladding, [4.5.2.18](#) roofing materials, and [4.5.2.21](#) window trim where the Director of Planning considers these requirements to be unduly restrictive, and provided that the Director of Planning:
- (a) considers the impact on neighbouring properties with particular regard to shadowing and loss of privacy;
 - (b) considers the presence of original materials and detailing and their architectural merit;
 - (c) considers the extent and exterior design of the proposed new work as related to the existing buildings character and design; and
 - (d) may consider the submission of any advisory group, property owner or tenant.

4.5.3 External design regulations for duplex and duplex with secondary suite

Duplex and duplex with secondary suite are subject to the external design regulations in this section [4.5.3](#).

- 4.5.3.1 There must be:
- (a) 2 main entrances, 1 to each principal dwelling unit;
 - (b) on a corner site, 1 main entrance facing the front street and 1 main entrance facing the flanking street; and
 - (c) 1 entry, porch or verandah at each main entrance, with a minimum width and depth of 1.8 m.
- 4.5.3.2 The roof design must comply with the following provisions:
- (a) all roofs except for dormer roofs must:
 - (i) be either hip or gable, or a combination of both,

- (ii) have a slope not less than 7:12 and not more than 12:12, and
 - (iii) intersect at its lower portion with the exterior wall face of the building or the vertical projection thereof at a line no higher than the lesser of 7.9 m above the base surface or the floor level of a partial storey, or attic above the second storey;
- (b) dormer roofs must be gable, hip or shed, and must have a minimum slope of 4:12;
 - (c) the maximum total width of dormers provided on a partial storey above the second storey must not exceed 50% of the width of the elevation of the storey below;
 - (d) all exterior dormer walls must be set back a minimum of 0.6 m from the exterior face of the wall of the storey below; and
 - (e) despite section [4.5.3.2\(d\)](#) above, 1 dormer, which faces an interior side yard and provides headroom over a stair and any intermediate and top landings that provide access from the second storey to the partial storey above, may have its face wall flush or continuous with the second storey exterior wall face below.

4.5.3.3 The Director of Planning may vary the requirements of sections [4.5.3.1](#) and [4.5.3.2](#) above if, in the opinion of the Director of Planning, the design meets the intent of the regulations for quality and durability of design and architectural expression.

5 RELAXATIONS

- 5.1 Where, due to conditions peculiar either to the site or to the proposed development, literal enforcement would result in unnecessary hardship, the Director of Planning may relax:
- (a) the maximum building height to a maximum of 10.7 m;
 - (b) the minimum front yard depth, but in no case may the depth be reduced to less than 60% of the depth required in this schedule;
 - (c) the minimum side yard width, but in no case may the width be reduced to less than 60% of the width required in this schedule;
 - (d) the minimum rear yard depth, but in no case may the depth be reduced to less than 60% of the depth required in this schedule;
 - (e) the maximum building depth; and
 - (f) the floor space ratio exclusions for parking in accessory buildings in section [4.1.2\(c\)\(i\)](#) of this schedule,

if the Director of Planning considers the intent of this schedule and, all applicable Council policies and guidelines, and the submission of any advisory group, property owner or tenant.

- 5.2 Where, due to the peculiarities of the site or special circumstances related to the use of the site, literal enforcement would result in unnecessary hardship, the Director of Planning may relax the maximum area

of impermeable materials if the Director of Planning considers the intent of this schedule and all applicable Council policies and guidelines.